

Downtown Design Guidelines

Street Banners & Flags

Outside Dining



lighting

Plazas, Paseos, and Public Spaces

Create a Pedestrian Friendly Environment

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INTRODUCTION

The Artesia Downtown Design Guidelines focuses on creating a pedestrian friendly human scale environment that encourage the use of high quality materials and the incorporation of details that establishes a unique sense of place. Furthermore, design guidelines for private property focus on humanizing the pedestrian environment within the downtown, with consideration for, passages, pedestrian connections, and other provisions that help to link and extend the quality of public space into quasi-public and private areas.

The Downtown Design Guidelines are intended to complement the Zoning Ordinance provisions and facilitate the goals adopted. While the Zoning Code is mandatory, the guidelines are advisory and are intended as a guideline that facilitates the goals and objectives of the Zoning Ordinance. In general these guidelines are intended to inform, guide and inspire development and redevelopment with the downtown area through good design practices. The overarching intent is to provide property owners, developers, and designers with a guideline that meet the goals and desires of the City. Furthermore, these guidelines are intended to prompt developers and their architects to address specific issues of local concern and to guide City staff and commissions in their evaluation of proposed development projects. It is not the intent of these guidelines to severely restrict individual preferences, ignore economic constraints relative to material and style, or discourage innovative design or individual expression but rather a set of parameters that create a cohesive consistent sense of place.

All proposed structural or Façade changes as well as all new public or private construction in the Downtown area that requires a permit will be required to be consistent with these design guidelines. The process for design review is to be in compliance with the Design Review Standards, Downtown Specific Plan Standards, and the requirements stipulated in the City's Zoning Ordinance.



Design Principles

- Create a “main street” environment along Pioneer with a continuous frontage of appropriately designed shops and restaurants.
- Provide active building frontages with large, transparent window openings. Avoid blank walls.
- The primary entrance to every ground floor space and upper story use should be from the sidewalk. Entry courts are also encouraged if they are open, visible and public in character and contain active uses such as storefronts and outdoor cafés.
- The ground level of buildings should be built on or near the front property line to maintain the continuity of the street edge and to create a more interesting pedestrian experience for strolling and window shopping.
- Setback areas should be used to enhance the sidewalk and pedestrian environment with active uses such as outdoor cafés.
- Architectural design should encourage an open and informal style with a comfortable pedestrian scale.
- Provide monumentation/identity that creates a unique sense of place through consistent wayfinding and building signage.
- Improve alleys to accommodate pedestrian and vehicular activities.
- Create an overall consistent character throughout the Downtown.



ARCHITECTURAL DESIGN

A building's form and façades have a great influence on defining a space and creating a sense of place. The built environment influences cohesiveness, comfort, and aesthetic pride and at the same time can encourage shopping, increase a sense of security, and generate pedestrian activity. A consideration of scale, detail and materials is very important in influencing the way we utilize a space. Good design must take into consideration some fundamental design principals including continuity, proportion, mass, scale and rhythm.

storefronts
materials
roofline
colors
Architectural Encroachments/Projections
continuity
Building Façade
massing

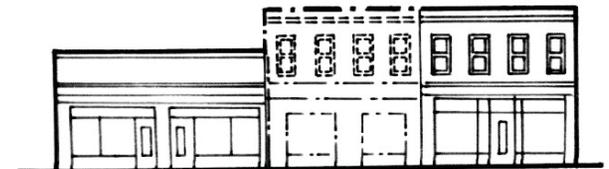
SECTION A



Continuity

Continuity among individual buildings in the Downtown Area contributes to community identity, levels of pedestrian activity, and economic vitality.

- All new development and redevelopment of existing structures should reflect the existing form, scale, and proportion (relationship of height and width) of the adjacent buildings that helped establish the design context for the area.
- Building frontage should be no less than 25-feet and no greater than 50-feet.
- Where a building occupies more than a 50-foot frontage the building façade shall be designed to appear as several smaller buildings or be broken up along the frontage into smaller but related pieces of the overall structure. This can be accomplished through incremental changes in the roof lines or ridgeline, the articulation along the frontage; the grouping of windows into various repetitive patterns and the coordinated placement of architectural features such as columns, wall openings and storefronts.
- Infill buildings that are much wider than the existing façades must be broken down into a series of appropriate proportioned structural bays or components.
- Key façade elements on an existing building, (i.e. wall planes and modulation, window and door arrangements, entries, transoms, awnings and cornice treatments) may be repeated in the design of a new neighboring building.



Form & scale relative to adjacent structures



Massing

Building massing in the Downtown Area should create a harmonic grouping of buildings that have strong relationships with adjacent parcels and respond to the community's desire for a human scaled pedestrian friendly environment. New and renovated building should be compatible with the character and scale of the Artesia Downtown. Special attention should be given to the façade, storefront and roofline of the building.

- Changes in vertical planes break up a boxlike appearance. Vertical elements such as pilasters help create “bays” to give the appearance of several smaller buildings.
- Tall dominating structures should be broken up by creating horizontal emphasis through the use of trim, awnings, eaves, or other ornamentation, and by using a combination of complimentary colors.
- Surface detailing should not serve as a substitute for distinctive massing.
- Single-story buildings should provide an interesting and distinguished “roofline” or profile, as through the use of decorative parapet or roof gable.
- On two-story buildings upper floors may be appropriate for varied setbacks to accommodate balconies, seating and other architectural treatments.
- The primary components of the upper floor of two-story buildings should be designed to reflect the refinement and articulation found at the base and body of the building.
- Street corners provide unique opportunities; extra care should be given to building orientation and articulation. The buildings should establish a memorable point of reference and incorporate prominent architectural features that establish the building's presence such as corner entrances, decorative windows, and tower elements.



Building Façade

The façade is the face of the building and the most important element to defining an environment.

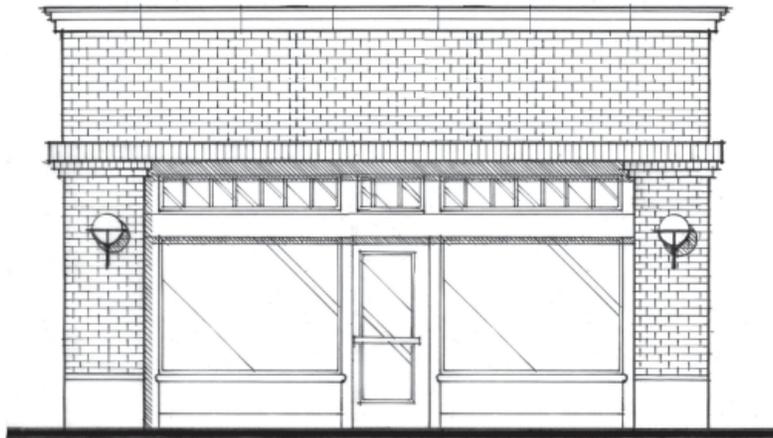
- At least one building entrance should be provided every 50-feet, although more points of access are highly recommended as they encourage a higher level of pedestrian activity at the street.
- Varying materials between base and body of a building is encouraged to break long wall planes.
- Higher prominent architectural features such as towers and turrets should be reserved for building occupying key locations within the downtown such as street corners or at the point of connection for a mid-block crossing, pedestrian alley or at an entrance to a courtyard.
- Special attention should be given to buildings at street corners. Where feasible vertical architectural elements such as tower or turrets should be incorporated to create an emphasis of importance of that location and to establish a point of reference. Where feasible main entrances should be located at the corner to add interest and importance to the corner.
- Blank walls at corners are discouraged. Existing corner buildings with blank walls could add display windows, extend façade material, colors, and treatments to add interest to blank walls.
- Architectural details and materials on lower walls that relate to human scale such as arches, trellises, or awnings should be utilized.
- Projections and recesses are encouraged to add texture and differentiation between buildings. These elements could include bay windows or recessed storefronts that are large enough to accommodate seating for outdoor eating and/or to observe passers-by.



Storefronts

Storefronts should be designed to enhance the pedestrian experience and to better serve the functional needs of businesses. Ground floor retail and commercial uses should be considered the primary land use and their design should not be compromised by upper story uses. Well-designed storefronts, including windows, doors, wall composition, colors, and materials are very important to create a sense of entry and pedestrian scale.

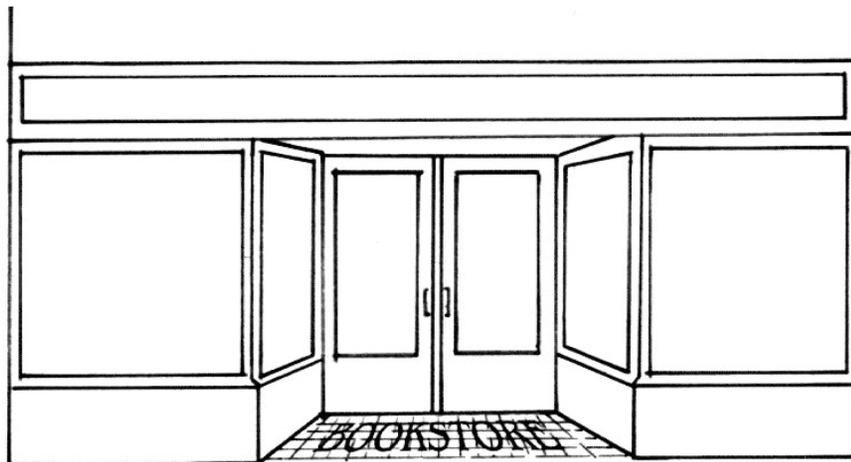
- Recessed entries and articulation in the storefront mass should be used.
- Articulated storefronts with carefully arranged doors, windows, arches, trellises or awnings, rather than blank walls, should face onto pedestrian spaces and streets.
- Ground floor spaces containing retail, restaurant and other active commercial uses should be visually open to the sidewalk.
- Large, blank walls should not exceed 25% of frontage and should be mitigated with trellises and climbing plants to extend the landscape character of the street.



Recommended storefront arrangement



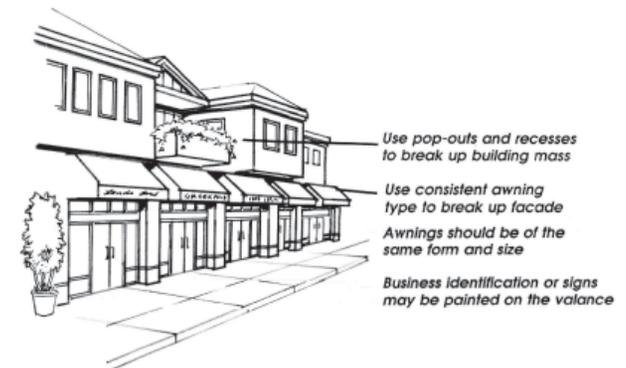
- Storefront windowsills should be no more than table height (about 30” above the sidewalk), and window heads should be at least seven feet above the sidewalk. Glazing should not be tinted or reflective.
- The first floor of commercial buildings should be predominately transparent to help distinguish it as a more publicly oriented space. Windows, when combined with entry doors, should occupy 50% to 70% of a first-floor frontage. The second-story windows should make up a minimum of 30-50% of the wall area.
- Windows may be combined with wall planters at their base or use a base material that has color and texture such as ceramic tiles, brick, river rock, or raised wood panels.
- Operable windows are encouraged to provide natural air circulation and allow interchange between indoor and outdoor spaces.
- Transom windows above the awning level or storefront windows that extend to the full height of the ground level space are encouraged to provide variation along the street.



Recommended storefront arrangement incorporating a recessed entrance

Roofline

- Multi-form roofs, gabled, and shed roof combinations are encouraged to create an interesting and varying roof form that will lessen the mass of the building, and add visual appeal.
- Roof materials and colors are important aspects of the overall building design. They should be consistent with the desired architecture and complementary to adjacent structures. Refer to the Materials section.
- Parapets may be used when sufficiently detailed to screen roof mounted equipment and provide a contrast to gabled or mansard roofs. Parapets should have sufficient articulation of detail such as precast treatments, continuous banding or projecting cornices, dentils, caps, corner details, or variety in pitch (sculpted).
- Rooftop equipment on flat roofs shall be screened and not visible from ground level. Buildings with flat or low pitched roofs shall incorporate parapets, pitched façades, or architectural elements designed to screen roof mounted mechanical equipment and to be architecturally compatible with the design of the building façade. Structural stability and the height of a parapet shall be coordinated with the placement of mechanical equipment so that equipment is not in a pedestrian's line of sight from street level.

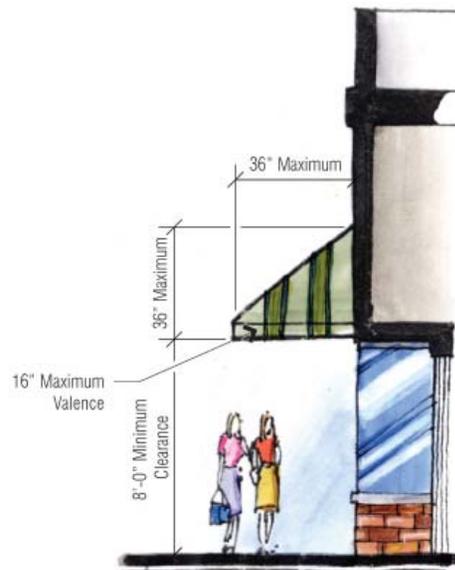


Use a variety of architectural elements to create visual interest and reinforce pedestrian scale.

Architectural Encroachments/Projections

Architectural projections such as bay windows, balconies, awnings, cornices, canopies, unroofed porches, belt courses, etc. may project into a setback area or over the public right of way provided that they meet the minimum requirements of the Building Code (typically no projections for the first 8 feet above sidewalk).

- Balconies and Bay Windows shall be limited in width (measured along the direction of the street) per the development standards.
- Awnings
 - a. *Shall be limited in width (measured along the direction of the street) per the development standards.*
 - b. *The face or “valence” of an awning shall not exceed 16 inches in height.*
 - c. Covering should be of canvas or fabric.
 - d. High gloss materials are not permitted.
 - e. Backlit awnings are not permitted.
 - f. The height of the awning shall not exceed the width of the awning.
 - g. Colors shall complement the storefront, signage and building colors.
 - h. Awnings used as signage shall also be subject to regulations governing signs.
 - i. Awning shape shall relate to the associated door or window opening.
 - j. Awnings shall not extend the length of the building façade.
 - k. Awnings should be broken into segments that reflect the door and window openings beneath them. Exceptions may be required when used for outdoor seating.
 - l. Awnings shall be maintained in good repair and display a clean and attractive condition while installed on the building.
 - m. No lighting, heating fixtures, windscreens or signs should be attached to awnings.



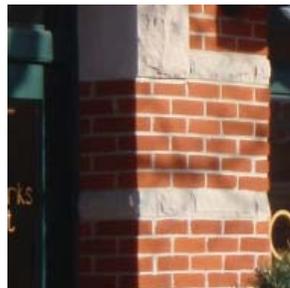
Materials

The selection and placement of building materials should provide visual interest at the pedestrian level. Heavier materials should be used to form the building base and as accents on upper stories and walls. Architectural details should be used to enhance the buildings and adjacent pedestrian spaces by adding color, shadows, and interesting forms.

The following is listings of appropriate and inappropriate materials to use in construction of new structures and the remodeling of existing structures. This list was developed based upon the professional judgment and opinions of those involved in the development of these guidelines. These listings are intended to provide general guidance, and do not include all possible applicable materials.

Primary Wall Surfaces

Appropriate	Inappropriate
Natural rock	Simulated rock or rock veneer
Clay brick	Simulated cement brick
Float finished stucco	Knock Down Stucco
Smooth sand finished hand troweled stucco	T-111 Siding
Hand troweled plaster surfaces	Split-faced block
Unpolished marble	Vinyl or Aluminum Siding
Unpolished granite	Cultured Stone
Tile	Highly Polished Materials
Clear glass with wood or quality metal trim	Mirror or Heavy tinted glass
Finished Concrete	Corrugated Fiberglass



Roofing Materials

Appropriate	Inappropriate
Clay Tiles	Concrete that imitates wood shake, slate, or clay tiles.
Slate	Fiber Concrete that imitates wood shake, slate, or clay tiles.
Stamped Metal	Tile that imitates wood shake, slate, or clay tiles. 3-tab Shingles or composite rock shingles



Appropriate Trim, Accent and Details

Appropriate	Inappropriate
Natural stone or rock	Simulated rock or rock veneer
Unpolished Marble	Cultured stone
Clay Brick	Plastic
Heavy Wood Beams/Timbers, Milled Wood	Corrugated Fiberglass
Terra Cotta	Rough Saw Lumber
Ornamental Tile for Accent/ Inlaid tile	
Wrought Iron	



Colors

The use of color in Downtown buildings should seek an overall harmony and limited palette. As a general rule light muted tone should be utilized for basic surfaces with strong hues and dark colors used as accents. The following guidelines are intended to promote well-coordinated color palettes that integrate with the other exterior features of a building and create the desired sense of harmony.

- Buildings should keep a balanced color palette between light muted base colors and strong hues and darker colors accent colors on each building.
- On larger flat wall planes flat finished muted colors should be used that reduce sun glare. The utilization of bright whites should be avoided.
- Door and window trims, awnings, and wall tiles provide opportunity for color that adds interest and texture to storefronts or building bases. Color of trim should be coordinated with the wall colors and be stronger hues and darker colors within the same color palette.
- Colors should coordinate and complement the color palette of other adjacent buildings but not copy or mimic the color palette.
- Colors should coordinate with natural / unpainted materials used on the façades such as river rock, pressure treated wood, terra cotta, tile, brick, and stone.



STREETSCAPE ELEMENTS

The condition of the public realm is important for creating the desired image and identity of the Downtown and to provide a unified backdrop for the design of various building styles and types. Public realm improvements serve to improve an area's visual quality and act as an investment catalyst, encouraging private property upgrades and new development. The following section outlines the improvements that contribute to the visual appeal and upgrades the function and attractiveness of the downtown.

Outside Dining

street furniture

Hardscape - Intersections/Sidewalks

lighting

Landscaping -
Trees/Plant Materials

Plazas, Paseos, and Public Spaces



Hardscape – Intersections/Sidewalks

The creative application of hardscape elements can add interest to a project. The following are general guidelines for the application of hardscape material that define special places and act as visual cue to the individual that they are entering into a special place.

- Those areas between privately-owned properties and the street right-of-way may be paved with a different material than the sidewalk to accentuate entry ways or other pedestrian ways.
- Courtyards, outdoor patios, arcades, and plazas provide inviting open spaces. These spaces should have detailed and well-defined paving design. Materials may include concrete or brick pavers, tile, scored, colored, and textured concrete. These spaces may be provided adjacent to building entries or façades at intersections, mid-block between buildings, and adjacent to parks.
- Durable, smooth and even surfaces should be used in well-traveled areas while less traveled areas could utilize other materials which are appropriate for minimal use.
- Patterns and colors should be installed in paving treatments using tile, brick, textured concrete in order to provide clear identification of pedestrian access points into buildings, parking features (i.e., handicap spaces, pedestrian loading, bus stops/pull-outs, etc.)



- Tile or metal inlays in paving areas are encouraged for artistic interest and may possibly serve as public art or can be functional art as a time piece, directional marker, or historical anecdote. Special attention should be given to special areas such as intersection, pedestrian pass-thru, pedestrian crossings and community gathering spaces.
- Those areas between building façade and the street right-of-way may be paved with a different material than the sidewalk to accentuate entryways or other pedestrian ways.
- Durable, smooth, and even surfaces should be used in well-traveled areas while other materials that have more texture can be used in less traveled areas.
- Patterns and colors should be installed in paving treatments using tile, brick, or textured concrete in order to provide clear identification of pedestrian access points into buildings and to highlight parking features (i.e., handicap spaces, pedestrian loading, etc.).



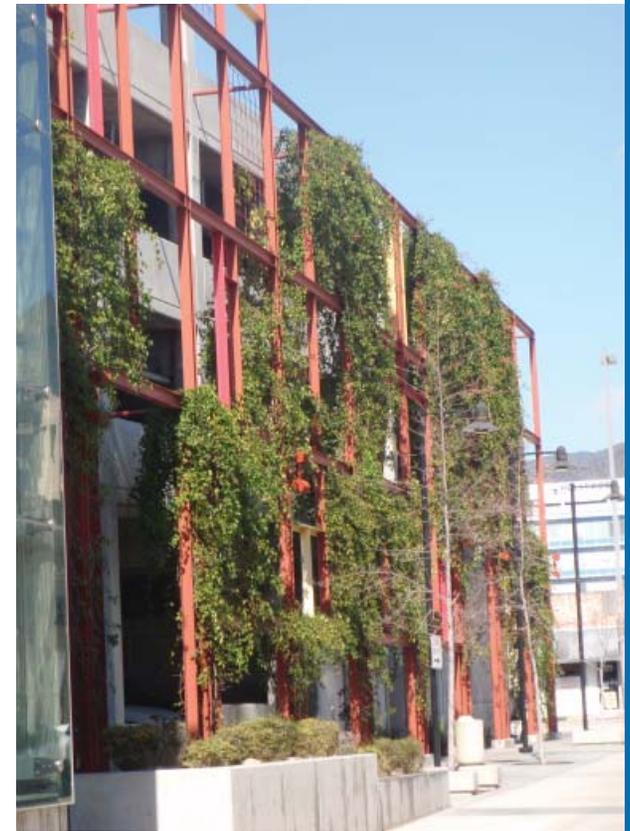
Landscaping – Trees/Plant Materials

Healthy, mature landscaping can enhance development and should not be used as a mask to justify poor building design. Landscaping is a crucial element in defining the place and should be considered one of the top priorities.

- Trees and shrubs should be located and spaced to allow for mature and long-term growth.
- Evergreen and deciduous or flowering trees should be used in combination to create visual interest and a dynamic landscape.
- Accent planting should be used around entries and key activity hubs.
- Trees should be selected on a performance basis with the objective of minimizing water use, providing shade, minimizing hazardous litter, minimizing root intrusion, and providing color and contrast.
- Planting should be used to screen or separate less desirable areas from public view, such as trash enclosures, parking areas, storage areas, loading areas, and public utilities.



- Avoid short lived plants, plants susceptible to disease, and large expanses of single plant varieties due to the unchanging appearance and chance of loss of landscaping if struck with disease.
- Plants should be grouped in high and low maintenance zones as well as traffic zones and should be coordinated with irrigation plans.
- Urban runoff can be greatly reduced by diverting stormwater from impervious areas such as roofs and paths to landscaped areas and infiltration basins where water can seep into the ground.
- Explore opportunities to use recycled/reclaimed water for irrigation.
- Vines and potted plants should be used to provide wall, column, and post texture and color, as well as for accentuating entryways, courtyards and sidewalks.



Street Furniture

Street furnishings serve an aesthetic purpose as well as form elements of commonality which help to establish an identity of an area and provide comfort and interest for users. Street furniture includes all items placed within the public right-of-way, such as benches, bus shelters, trash receptacles, plant containers, tree grates and guards, bicycle racks, bollards, kiosks, and fountains. Proper design and placement of such amenities will reinforce a unified Downtown design theme and create a lively and festive atmosphere. These amenities should have common features, such as color, material and design to provide a cohesive environment. General Street Furnishings Guidelines are as follows;

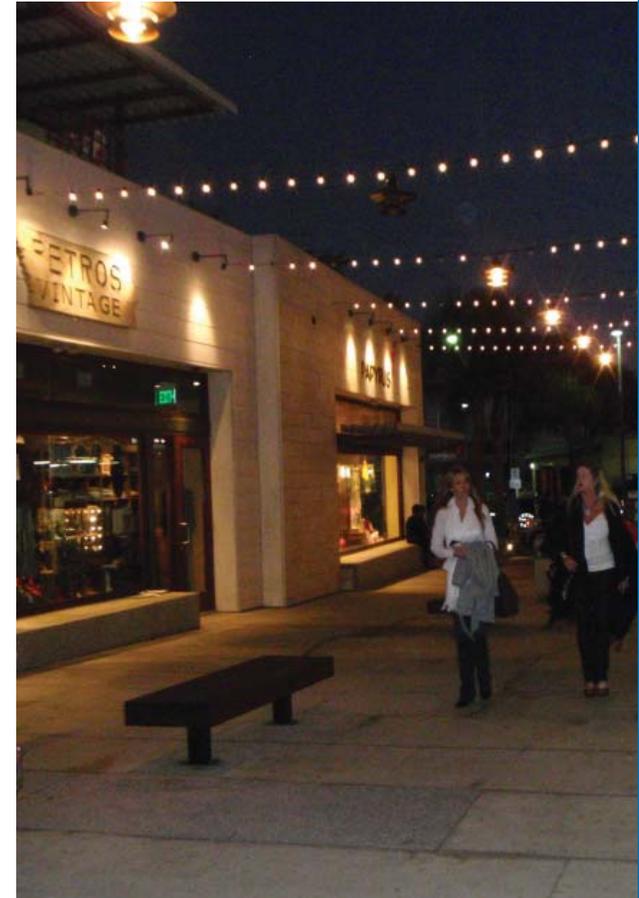
- Street furniture shall be located along street edge of sidewalk. Provisions to accommodate persons with disabilities shall be incorporated into the design and location of furnishings. This includes a provision for space adjacent to walkways for wheelchair and/or stroller parking.
- To create a more organized and efficient use of sidewalk space, furnishings shall be grouped together rather than scattered. Trash and recycling cans shall be located near benches. A greater frequency of the number of furnishings should be located in higher-use pedestrian traffic areas.
- Items should be securely anchored to the sidewalk, and a graffiti-resistant coating shall be applied to street furniture elements to ensure a good longer-term appearance.



Lighting

Effective lighting provides safety and direction for vehicles and pedestrians and provides visibility and security for businesses while enhancing architectural building and landscaping details.

- Lighting should be designed to provide ambiance, safety, and security without unnecessary spillover or glare onto adjacent properties or right of way.
- The lighting plan should incorporate current energy-efficient fixtures and technology.
- Building light fixtures should be designed or selected to be architecturally compatible with the main structure, which should complement the theme of the surrounding area.
- Wall-mounted light fixtures should not extend above the height of the wall to which the fixtures are mounted.
- Accent lighting is encouraged to highlight or accentuate key architectural elements. Accent lighting on trees can be effective and attractive; however, light sources should be screened from view.
- Blinking, flashing lights, and exposed neon lighting used to illuminate building façades or to outline buildings are prohibited. (Exception: Temporary decorative lights such as holiday and summer lighting may be allowed for up to an eight-week period during the calendar year.)
- Low-voltage lighting conserves energy and should be used in the landscape whenever possible.
- The height of a light pole should be appropriately scaled to the building or complex and the surrounding area. Light poles along sidewalks, pathways, and in parking areas should be consistent with City light standards.
- Pedestrian areas, paseos, sidewalks, and building entrances should be adequately lit to provide safety and security.

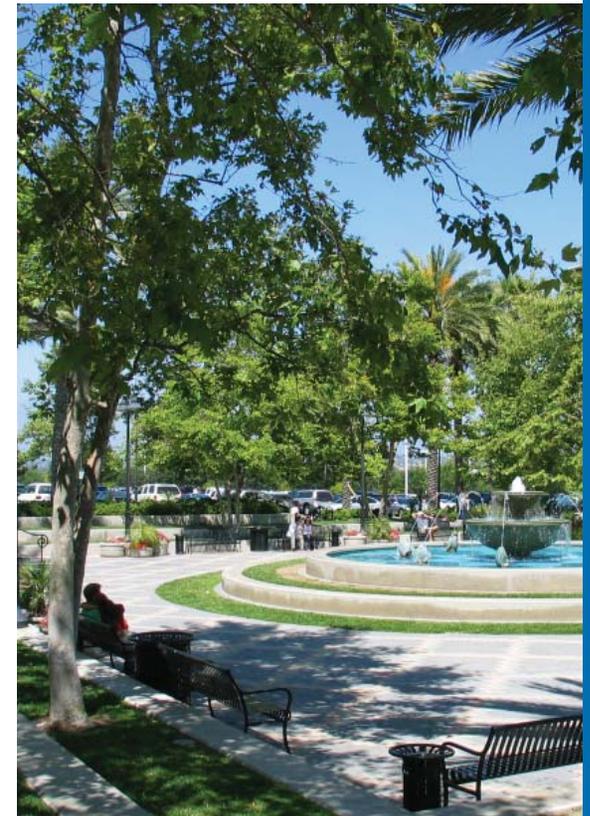


Plazas, Paseos, and Public Spaces

Perhaps one of the most important improvements that can be made to the Downtown is the addition of public spaces in the form of plazas, paseos, and informal pedestrian spaces. As the Downtown adds new retail and eating establishments, opportunities for gathering places and convenient urban recreation in various forms must be provided. These public gathering spaces shall serve to establish a sense of place and identity and provide opportunities for human activities that create an interactive environment, build a sense of community, and create opportunities for events, entertainment, and gatherings.

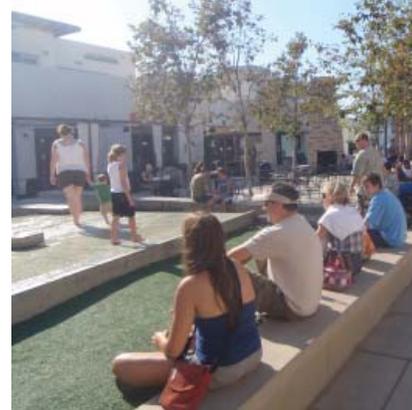
Public spaces and plazas in the Downtown shall adhere to the following guidelines;

- Plaza spaces shall be designed with flexibility for physical use and shall be designed to accommodate a range of desired activities such as outdoor seating, entertainment (bandstands), and festivals. The areas shall contribute to real and perceived public safety.
- Where feasible, plazas should have two defined articulated edges (buildings, landscaping, etc.) to define the plaza and create comfortable space.
- Plaza edges which open to pedestrian through-traffic should be defined (without impeding traffic flow) with a planter or low seating wall, a pergola with vines, a water feature, or a sculpture.
- Provide pedestrian amenities like seating, decorative lighting, planters, drinking fountains, distinctive paving, decorative tiles, public art, landscaping, and bicycle racks. Plazas shall also incorporate focal points such as architectural structures, sculptures and interactive water features.
- Covered areas along the perimeter of public spaces (i.e. vine-covered pergola) are strongly encouraged to provide protection from rain and/or sun.
- Soft landscaping and shade trees as well as hard surfaced areas shall be incorporated into the overall plaza design. Color, form, and texture are an integral part of the design of these public spaces.



Plaza Criteria – 10 Issues

1. *Plaza or public space should be confined by at least two edges.*
2. *Change in levels should be accommodated.*
3. *Enhanced paving should be incorporated on the ground plain.*
4. *A variety of sitting opportunities should be provided.*
5. *Both sun and shade spaces should be provided both in summer and winter.*
6. *Small and Large spaces should be incorporated into the plaza.*
7. *Street furniture and pedestrian amenities must be incorporated (drinking fountains, trash receptacles, wayfinding signs, etc.)*
8. *Tie the plaza into natural features if they exist.*
9. *Address defensible space issues.*
10. *Plaza should incorporate a focal point element(s).*



Outside Dining

Outside dining areas can be a major venue within the Downtown and are can serve an important role in attracting people to the area. The success of these areas promotes business for adjoining shops and businesses, while adding to the pedestrian environment and enhancing the sense of place. Restaurants should be encouraged to provide outdoor dining opportunities on sidewalks, including areas within the public right-of-way and in courtyards, provided that pedestrian circulation and access to business entrances shall not be impaired. The intent is to encourage outdoor dining areas that are ancillary amenities to traditional sit down eating establishments. The definition of an outdoor dining does not include stand up or window food and beverage service located along the public sidewalk or within required front yards. The following standards and guidelines are applicable:

- To allow pedestrian circulation, a minimum of 8 feet of sidewalk along the curb and leading to the entrance of the establishment should be maintained free of tables and other encumbrances.
- Planters, posts with ropes, or removable enclosures are encouraged and should be used as a way of defining the area occupied by the café.
- Extended awnings, canopies, or large umbrellas are permitted in order to provide shade. Colors should complement building colors.
- Tables, chairs, planters, trash receptacles, and other elements of street furniture shall be compatible with the architectural character of the building where the establishment is located, and shall be approved by the City prior to the issuance of the sidewalk café permit.
- Outdoor cafes are required to provide additional trash receptacles
- Whenever possible, trash receptacles and other elements of the street furniture shall be compatible with that employed in the public right-of way.
- Such permissible materials provided with the sidewalk café should be of professional quality and workmanship to ensure the safety and convenience of the public.
- The operators of outdoor dining areas shall be responsible for maintaining a clean, litter free, and well-kept appearance.



ALLEY DESIGN

Alleys are often overlooked for their ability to enrich the quality of a downtown environment and create a memorable place for people. Alleys do not have to be reserved for dumpsters, service vehicles, and utilities. Through careful and thoughtful design, alleys can be enhanced to provide an active and inviting place for pedestrians and opportunities for environmental sustainability while still serving their purpose as useful service areas.

Service Area Design

Create a Pedestrian Friendly Environment

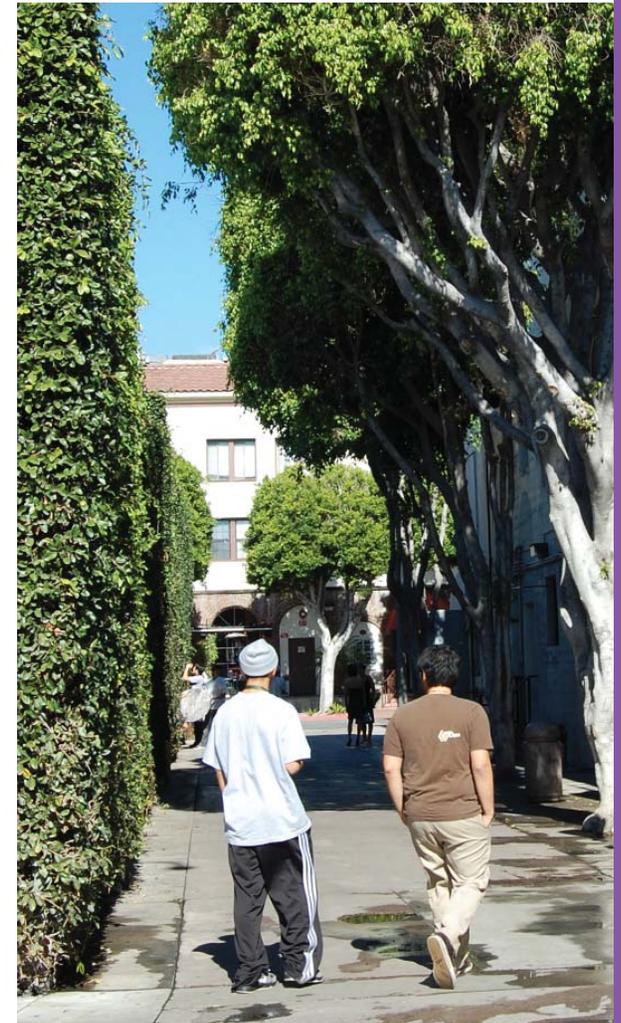
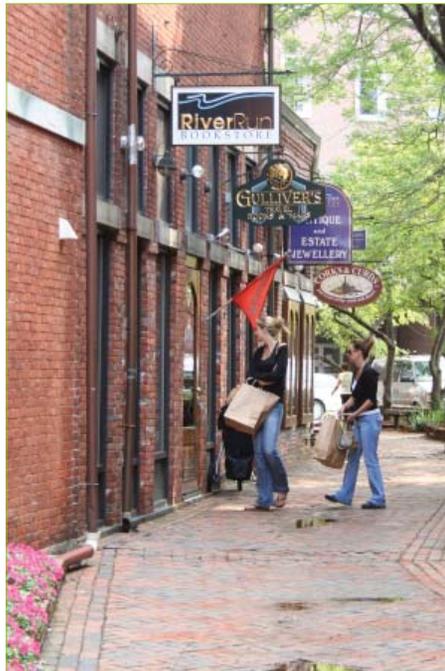
Incorporate
Environmentally
Friendly Design



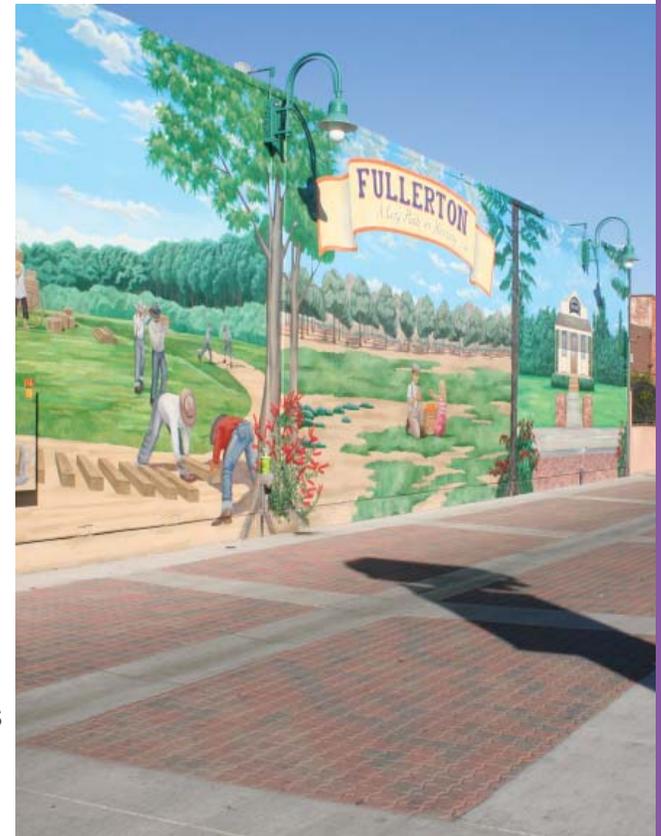
Create a Pedestrian Friendly Environment

To encourage use of the alley by people it is important to “bring the alley to life”. The following are guidelines intended to enhance and activate the alley for pedestrians.

- Encourage commercial establishments to use the alleyways as primary or secondary entrances to their businesses. Entrances should be clearly identified through the use of fabric awnings and appropriate signage.
- Where appropriate, install wayfinding signs consistent with the guidelines provided in signage section to direct pedestrians to paseos and pedestrian walkways.
- Where adequate space exists, provide walkways and sidewalks for pedestrians.



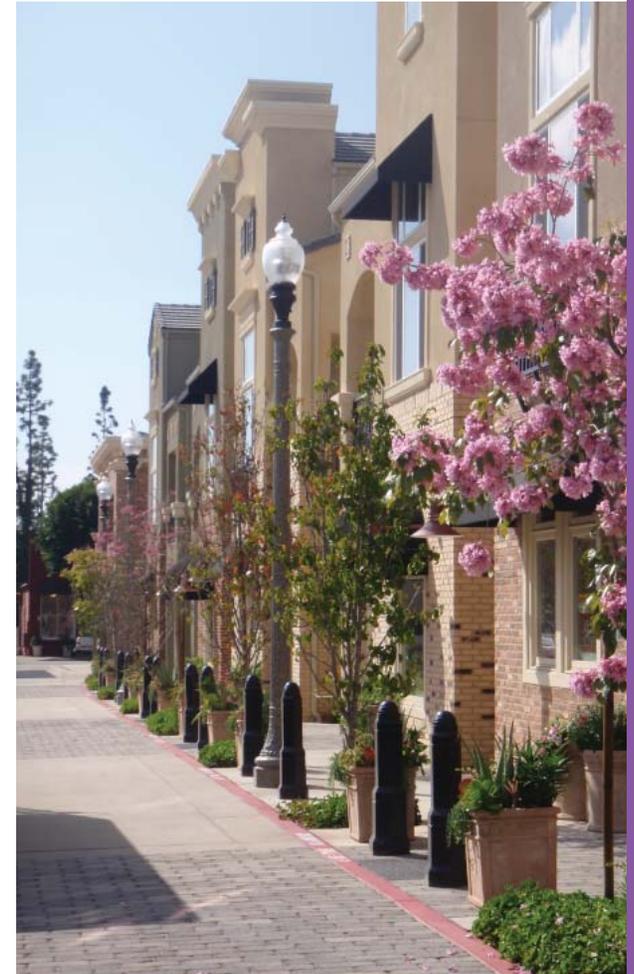
- Where adequate space exists, incorporate landscaping to soften the edges of the alley and create a more aesthetically pleasing environment. Landscape materials used in the alley should be consistent with the landscape materials used along Pioneer Boulevard.
- Where adequate space exists, encourage the creation of outdoor spaces with appropriate furnishings that provide areas for seating, eating, gathering, and other similar activities. Any outside dining areas should be designed consistent with the guidelines for outside dining areas provided in the Streetscape Design section.
- Use enhanced/decorative paving to calm traffic and signify shared use of the alley by vehicles and pedestrians.
- Provide adequate lighting to increase security for both the businesses and the pedestrian. Lighting should be designed consistent with the guidelines provided in the Streetscape Design section.
- Activate and enhance alley entrances by extending street front building fenestration around corners and onto rear/alley facing façades.
- Encourage the installation of public art, such as murals, sculptures, etc. in appropriate areas within the alley and/or along rear facing building façades.
- The City should consider naming the alleys to enhance the character and make the alleys clearly identifiable.



Incorporate Environmentally Friendly Design

Alleys provide an opportunity to incorporate environmentally friendly design features. The following guidelines are intended to promote sustainability and improve water quality management.

- Permeable pavement materials should be used wherever feasible to absorb runoff and reduce heat produced from asphalt surfaces.
- Softscape areas should be incorporated wherever feasible to clean and filter runoff.
- Perforated curbs should be used wherever feasible to allow storm water to enter landscape areas.



Service Area Design

Alleys are functional spaces that need to provide adequate access for vehicles, deliveries, utility maintenance, and trash storage and pick-up. Careful design of the alleys will ensure that they provide both a functional space for these services as well as an inviting and comfortable space for pedestrians.

- Clearly identify parking and service delivery areas.
- In areas where adequate space exists, parking and delivery areas should be designed as convertible spaces that can be used for temporary special events.
- Where feasible, utilities shall be installed underground.
- Mechanical equipment including, but not limited to heating, air conditioning, refrigeration equipment, plumbing lines, ductwork and transformers should be incorporated into the building architecture, adequately screened, and/or designed to match the materials and colors of the building.



MONUMENTATION / WAYFINDING

Monumentation & Wayfinding are visual methods of communicating identity and information about a place. They not only establish physical boundaries, but also present an opportunity to shape or brand a place. The foundation of a strong monumentation and wayfinding program is in the development of a consistency in logo identity and color. The logo and color scheme should be incorporated into the entry gateways monuments, street signs, directional signs, and banners to develop both a sense of place and an identity for the Downtown.

Lead-In Signs

Wayfinding Signs

Street Signs

Street Banners & Flags

directional Signs

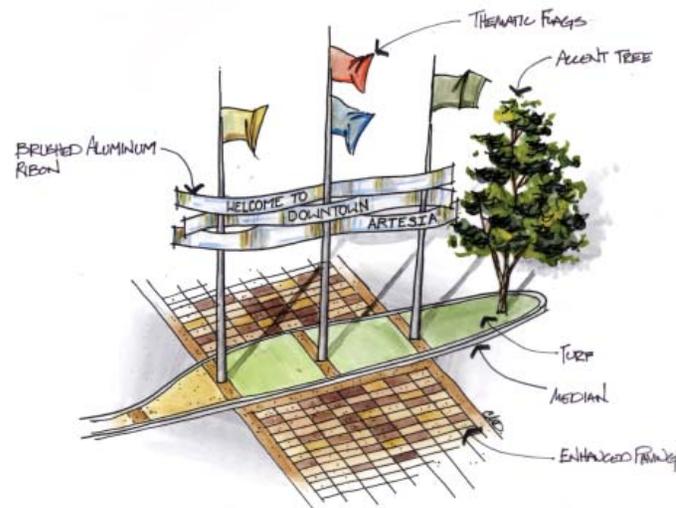
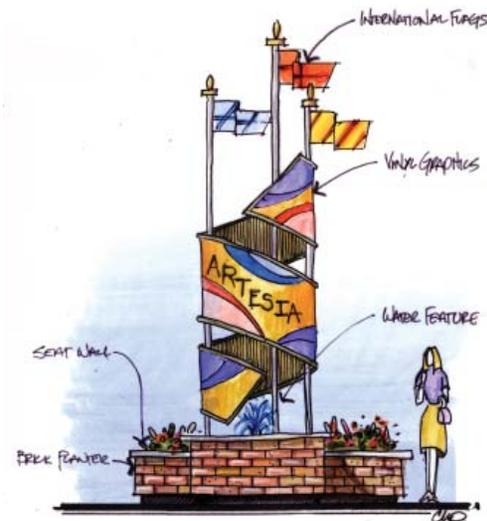
Entry Gateways
& Monumentation



Entry Gateways & Monumentation

Entry Gateway and Monumentation help announce important transitions as one enters the Downtown. Entry monuments will be instrumental in providing a sense of arrival and transition into the Downtown. These monuments serve to identify and promote the distinct identity of the Downtown and highlight entry into a special place.

- Entry gateways are proposed to be located on Pioneer Blvd. at the 183rd Street intersection on the north end and at the South end at the 188th street Intersection.
- In addition to serving as entry gateways and monumentation are important places for directional and informational signs to guide motorists to their destinations.
- Physical elements of the entry, including medians, flags, archways, paving materials, and landscape planting materials, which should function together to physically define the entry and establish a positive first impression of the Downtown.
- Increased landscaping at entry monuments will help emphasize that one is entering the Downtown.



Wayfinding Signs

Wayfinding Signs are critical in providing consistency in messages and directions to destinations, such as public parking, public facilities, key retail centers, parks, and plazas. Wayfinding include; Lead-in signs, Directional signs, Street signs, Banner and Flags.

Lead-in Signs

Lead-in directional signs will be located at key locations outside of the downtown area throughout the City as well as near the freeway to direct residents and visitors to the Downtown.

Directional Signs

Directional signs should provide direction to important services and destinations such as public parking, city hall, library, performance venues, parks, transportation facilities, etc.

The following are guidelines for directional signs;

- Common directional signs will include directional arrows and labeling to denote key shopping areas, public parking, civic buildings, and tourist attractions.
- Directional signs in pedestrian spaces shall orient to the pedestrian walkways and include destination within walkable distance.
- Directional signs in pedestrian shall be oriented to vehicular traffic and should be lit, landscaped, and placed permanently at roadsides or within medians at key locations around the Downtown.
- The directional signs shall reflect design materials and components of the entry gateways, monuments, and street signs to provide consistency and unity.



Street Signs

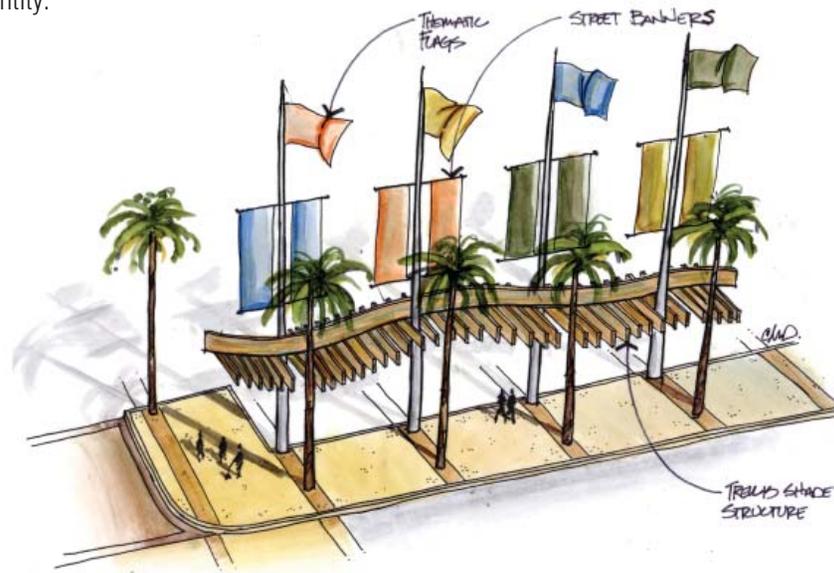
Street Signs are a very prominent unifying element in the urban environment. Street Signs should tie in the elements expressed in the rest of the downtown signage. The signs should be repetitive in nature so as to enable motorists and pedestrians to identify that they are in a unique area.

- The streets signs should incorporate the logo identity and color established for the Downtown and be unique to all street signs in the city.
- A font selection consistent with the desired traditional Downtown character.
- A design that reflects design components of the other Downtown signs.



Street Banner and Flags

Street banner or flags should be incorporated into the downtown. Where feasible banner should be located on light standards and include the logo identity of the downtown along with seasonal graphics or special event announcements. Where opportunities exist in the medians and monuments, flags should be incorporated to further extend the downtown identity.



COMMERCIAL SIGNAGE

Signs are an effective method to reinforce the identity of an area through graphic arts. Commercial signage communicates more than just the name of the business, it communicates the degree to which the business in the core are alive and whether or not the businesses still care about the business they are doing.

Businesses are encouraged to use signage in a manner that will clearly express the spirit of their unique enterprises while at the same time enriching the visual landscape of the environment. These guidelines are intended to encourage excellence in signage, as a communication tool and as an art form, to attract customers, make a statement about the quality of the business represented, and to contribute positively to the overall quality of the Downtown.

The guiding principles behind signage in the downtown are as follows;

1. *Signs reflecting the type of business through design, shape, or graphic form are encouraged.*
2. *Use a brief message; the fewer the words, the more effective the sign. Words should be used to convey primary information only.*
3. *All signs should fit comfortably into their storefront architecture leaving sufficient margins and negative space on all sides. Thickness, height and colors of sign lettering and graphics should be visually balanced and in proportion to other signs on the building.*
4. *The method of sign attachment to the building should be integrated into the overall sign design chosen.*
5. *Signs should not cover important architectural features.*
6. *Sign variety is encouraged among different users.*
7. *A single development with multiple users should provide a unifying sign theme.*
8. *Lighting of all exterior signs should be directional to illuminate the sign without producing glare on pedestrians, autos, or adjacent residential units.*



Walls Signs

- Wall signs should be positioned within architectural features, such as the panel above the storefront on the transom or flanking doorways.
- Wall signs should align with others on the block so as to maintain the existing pattern.
- Wall signs should be integrated into the building design, compliment the architecture and be compatible with the building colors and materials.
- Signs proposed to be located on buildings having an existing sign, shall be designed (size, location, colors, lighting, materials, etc.), and considered in relationship to other signs on the building, and compatible with the architecture of the building.



The following types of walls signs are recommended:

- Dimensional letter forms with seamless edge treatments
- Reverse channel lettering with halo lighting
- Cut or fabricated steel, painted or unfinished
- Polished metal
- Etched metal or glass, sandblasted glass
- Halo or exposed channel neon
- Silhouette illumination
- Front lighted signs.
- Dimensional geometric shapes and three-dimensional forms



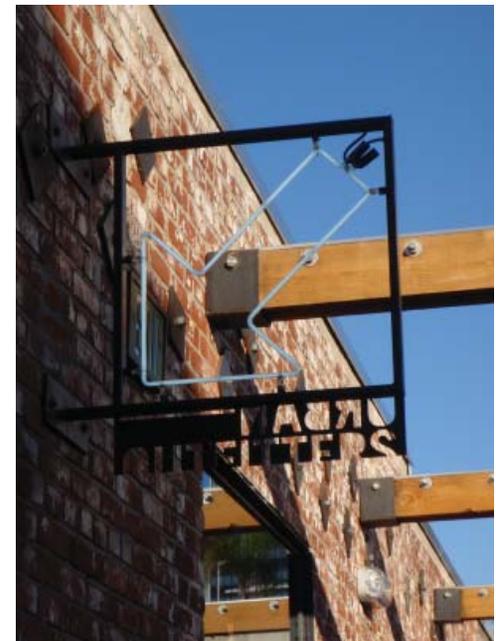
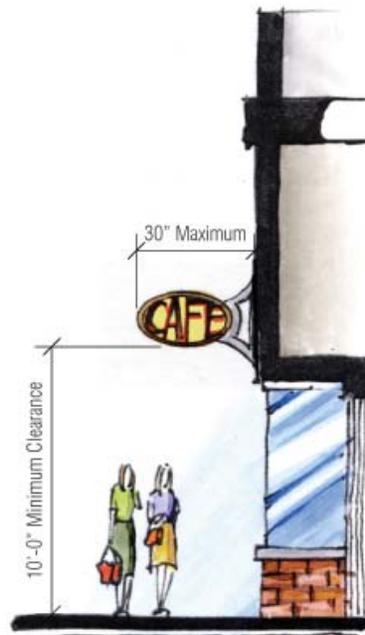
The following signs are discouraged:

- Conventional plastic faced box or cabinet signs.
- Internally illuminated signs, except backlit signs where only the lettering is illuminated.



Projecting Signs/Hanging Signs

- Handcrafted, wall mounted and hanging signs are a recommended way to provide clear and direct guidance for pedestrians. These signs are encouraged to be unique and convey a business image.
- The number of projecting signs per business shall be limited to one. The distance between projecting signs on a building shall be at least 50 feet for maximum visibility.
- Signs that project should be small and reflect the use of the business by incorporating symbols or logos of the business.
- On a multi-storied building, the sign should be suspended between the bottom of the second story windowsills and the top of the doors or windows of the first story. On a one-story building, the top of the sign should be suspended in line with the lowest point of the roof.
- Projecting signs shall be hung at a 90° angle from the face of the building.
- The bottom of the sign should maintain at least a 10' pedestrian clearance from the sidewalk level.
- Decorative iron and wood brackets that support projecting signs are encouraged.



Awning Signs

- Quality building and awning signs of appropriate size and scale with the building face are encouraged.
- Text copy should be limited to the name of the business only. The text should be located only on the fabric valance flap of the awning. The letter color should be compatible with the awning and the building color scheme.
- Internally illuminated awnings with or without signage are discouraged.



Window Signs

- Window signs may include permanent painted window signs that do not obstruct the pedestrian views into the store. These signs should be limited to individual letters placed on the interior surface of the window and intended to be viewed from outside.
- Window signs shall not cover more than 25% of the area of each window. Illuminated signs shall not exceed 10% of the window area.
- The text or sign copy of a window sign should be limited to the business name and brief messages identifying the type of product or service.
- Window signs should be grouped to minimize blocking views into the stores.
- Temporary window signs advertising specific products are prohibited.



Development Review Checklist

This Checklist summarizes the primary components found in City of Artesia Downtown Design Guidelines. This checklist may not represent every potential design related concern or issue related to a project as other considerations from the neighborhood, staff may arise. This checklist is not a regulatory device, a replacement of the provisions in the actual Zoning Code, nor is it a substitute for a thorough due diligence.

Section A: SITE DEVELOPMENT

Design Response

	Responsive	Partial	Unresponsive	Comments
A1. Relationship to Adjoining Development				
a. Builds upon existing predominant development character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
b. Coordination with adjacent site plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
A2. Activating the Street				
a. Buildings define street frontage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
b. Front entrance highly defined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
A3. Pedestrian Courtyards and Passages				
a. Incorporate exterior pedestrian spaces	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
b. Building street entrance connects to sidewalk	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
A5. Mechanical, Service and Loading				
a. Minimize visibility from public streets	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
b. Facilities adequately screened and enclosed (landscaping & walls)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
c. Allow for alley orientation where possible	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
A6. Building Street Edge				
a. Building walls define overhead plane	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
b. Canopy trees and covered walkway define overhead plane	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
c. 50% of the ground level front wall at setback line (ordinance)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
d. Continuous covered walkway and/or entry courtyards	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Section A: SITE DEVELOPMENT (Cont'd.)

A7. Fine Grain Development Character
 a. 50 ft. or less apparent storefront width

Design Response

Responsive	Partial	Unresponsive	Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

A8. Continuity of Street Spaces
 a. Maintain setback pattern of block
 b. Buildings oriented parallel to street
 c. Building Elements or plazas engage street corners

Responsive	Partial	Unresponsive	Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

SECTION B: BUILDING FORM

B1. Reduction of apparent Size and Bulk
 a. Building mass divided into smaller scale components
 b. Horizontal and vertical changes in wall plane
 c. Building divided horizontally into base, middle and top (or other method)

Design Response

Responsive	Partial	Unresponsive	Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

SECTION C: ARCHITECTURAL CHARACTER

C1. Proportion, Scale and Composition
 a. Composition emphasizes horizontal portions
 b. Composition of elevations organized according to define hierarchy and rhythmic pattern
 c. Avoids rigid monotonous patterning
 d. Appropriate window openings
 e. Wall thickness and mass exaggerated
 f. Ground level exhibits human scale

Design Response

Responsive	Partial	Unresponsive	Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

C2. Building materials
 a. Simple and rich material palette
 b. Material appears honest in its use, placement and in its relationship to other materials

Responsive	Partial	Unresponsive	Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

SECTION C: ARCHITECTURAL CHARACTER (Cont'd.)

C2. Building materials (Cont'd.)

- c. Material palette incorporates materials in predominant use
- d. Glazing is transparent and non-reflective, dull or matte finished
- e. Avoids repetitive horizontal banding, floor to ceiling window walls and volumes rendered primarily in glass

Design Response

Responsive	Partial	Unresponsive	Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

C3. Color, Texture and Architectural Detail

- a. Color palette builds upon downtown color usage
- b. Large areas of glass recessed and shaded
- c. Large glazed areas divided by mullions and muttons
- d. Windows and other openings punched
- e. Storefront windows include low wainscot or kick plate and sill
- f. Sufficient architectural detail to provide visual interest
- g. Sufficient use of integral architectural features conveys quality
- h. 360-degree architectural treatment(where appropriate)

Responsive	Partial	Unresponsive	Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

SECTION D: LANDSCAPE CHARACTER

D1. Streets – Planting Design and paving

- a. Design contributes to a unified civic appearance and the visual Continuity of street spaces

Design Response

Responsive	Partial	Unresponsive	Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

D2. Site Spaces

- a. Transitional pause space between public and private areas
- b. Functional/aesthetic exterior spaces provided
- c. Outdoor spaces enhanced with planting (moderation of solar exposure, temperature and ventilation)
- d. Buildings base planting

Responsive	Partial	Unresponsive	Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____